



K.W.

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
 Surveyor of Hamilton County
 Phone (317) 776-8495
 Fax (317) 776-9628

Suite 188
 One Hamilton County Square
 Noblesville, Indiana 46060-2230

August 18, 2022

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Woods at Vermillion, Sec. 4 Arm

Attached is a petition filed by North Connecticut Development Corporation (Republic Development), along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Vermillion Drain, The Woods at Vermillion, Sec. 4 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Weihe Engineers, Project No. W150253-4, the drain will consist of the following:

12" RCP	28 ft.
15" RCP	160 ft.
18" RCP	400 ft.
6" SSD	2,650 ft.

The total length of the drain will be 3,238 feet.

The new drain involves the following structures: Ex 804, 806, 807, 995, 996, 997, 998 and 999.

Note – In addition to the above drain lengths and structures, there are other existing storm facilities shown on the Sec. 4 plans that were installed with previous Vermillion sections. The lengths of those pipes are included in the reports for Woods at Vermillion, Section 3 and 5.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The sub-surface drains within the street right-of-way are being included due to the streets within the subdivision being under the jurisdiction of the Hamilton County Highway. As such there will not be street trees within the right-of-way but will be behind the sidewalk on the individual lots per Hamilton County Highway Department requirements. This complies with the Hamilton County Drainage Board's discussion of July 19, 2018 regarding street trees. (See Hamilton County Drainage Board Minutes Book 18, pages 204 to 206).

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 4 will be \$1,820.70.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Standard Financial Corporation
Date: June 14, 2021
Number: 1436WVRM4
For: Storm Sewers
Amount: \$106,842.90
HCDB-2021-00019

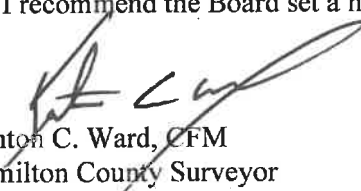
Agent: Standard Financial Corporation
Date: June 14, 2021
Number: 1435WVRM4
For: Erosion Control
Amount: \$44,607.03
HCDB-2021-00018

Agent: Standard Financial Corporation
Date: June 14, 2021
Number: 1437WVRM4
For: Monumentation
Amount: \$6,942.00
HCDB-2021-00020

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for The Woods at Vermillion, Sec. 4 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for September 26, 2022.



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/stc

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

SEP 01 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of The Woods @ Vermillion Subdivision, Section
 Four Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Woods @ Vermillion-Section Four , a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

NORTH CONNECTICUT DEV. CORP.

Douglas B. Wagner
Signed

DOUGLAS B. WAGNER, SRVP
Printed Name

AUGUST 28, 2017
Date

Signed

Printed Name

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

FINDINGS AND ORDER

CONCERNING THE MAINTENANCE OF THE

Vermillion Drain, The Woods at Vermillion Section 4 Arm

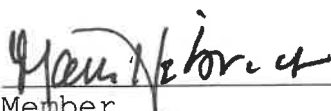
On this 26th day of September, 2022, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **Vermillion Drain, The Woods at Vermillion Section 4 Arm.**

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

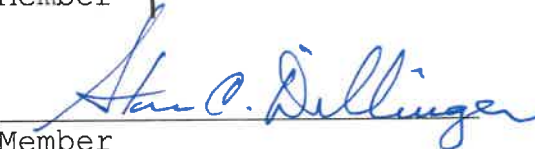
HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest:



Executive Secretary



ENGINEER'S ESTIMATE OF PROBABLE COST

OFFICE OF HAMILTON COUNTY SURVEYOR

Project: Woods at Vermillion Sec 4
W150253-4

Date: 6/7/2021

FILED JUN 16 2021

STORM SEWERS

			Quantity	Unit Price	Gross Price
Structures	Large Manhole	EA	1	\$ 4,928.00	\$ 4,928.00
	Large Beehive Inlet	EA	2	\$ 3,525.00	\$ 7,050.00
	Small Single Curb Inlet	EA	1	\$ 2,350.00	\$ 2,350.00
	Double Curb Inlet	EA	1	\$ 4,175.00	\$ 4,175.00
	24" End Section	EA	1	\$ 3,000.00	\$ 3,000.00
	Lot Leads	EA	25	\$ 172.00	\$ 4,300.00
	Granular Backfill	TONS	50	\$ 21.00	\$ 1,050.00
	Stone Bedding	TONS	167	\$ 26.00	\$ 4,342.00
	6" SSD - Street	LF	2677	\$ 11.75	\$ 31,454.75
	Riprap	TONS	60	\$ 57.00	\$ 3,420.00
STORM SEWER TOTAL:					\$ 89,035.75

Qty	Measurement	Size	Material	Unit Price	Gross Price
28	Linear feet of	12"	RCP	\$ 32.00	\$ 896.00
160	Linear feet of	15"	RCP	\$ 35.00	\$ 5,600.00
251	Linear feet of	18"	RCP	\$ 50.00	\$ 12,550.00
56	Linear feet of	24"	RCP	\$ 70.00	\$ 3,920.00

EROSION CONTROL

			Quantity	Unit Price	Gross Price
	Curb Inlet Basket	EA	10.0	\$ 206.00	\$ 2,060.00
	Beehive Protection	EA	10.0	\$ 113.00	\$ 1,130.00
	Silt Fence	LF	5,370	\$ 1.36	\$ 7,303.20
	Seed & Straw behind Curb	SY	7,667	\$ 0.34	\$ 2,606.78
	EC Blanket w/ Perm Seed - Swales	SY	5,204	\$ 1.10	\$ 5,724.40
	Permanent Seeding	SY	26,067	\$ 0.42	\$ 10,948.14
	Temporary Seeding/Mulch	AC	6	\$ 1,150.00	\$ 6,900.00
	Concrete Washout	EA	1	\$ 500.00	\$ 500.00
EROSION CONTROL TOTAL					\$ 37,172.52

Sidewalks

			Quantity	Unit Price	Gross Price
	5' Concrete Sidewalk (common areas)	SF	965	\$ 5.25	\$ 5,066.25
	Truncated Domes	LF	30	\$ 100.00	\$ 3,000.00
SIDEWALK TOTAL					\$ 8,066.25

Streets/Curb

			Quantity	Unit Price	Gross Price
Streets	Local Street				
	Subgrade Treatment	SYS			
	9" of #53 Commercial Street Stone	SYS	4,015	\$ 12.40	\$ 49,786.00
	Asphalt Pavement (1 1/3")	SYS	4,015	\$ 18.00	\$ 72,270.00
Curb	Roll Curb	LF	2,622	\$ 9.95	\$ 26,088.90
	Raised Pavement Markers	EA	4	\$ 300.00	\$ 1,200.00
STREETS/CURB TOTAL					\$ 149,344.90

Monumentation

			Quantity	Unit Price	Gross Price
	Lots		25	\$190.00	\$4,750.00
	Street Monuments		9	\$115.00	\$1,035.00
MONUMENTATION TOTAL					\$5,785.00

Trail

			Quantity	Unit Price	Gross Price
	10' Wide Asphalt Path	SYS	811	\$ 32.00	\$ 25,952.00
TRAIL TOTAL					\$ 25,952.00

Bond Estimate Prepared by:

Signature: Jim Pence

Printed Name: Jim Pence
Title: Project Manager
Date: 6/7/2021

COPY FOR FILE



June 14, 2021

Irrevocable Letter of Credit No.: 1437WVRM4

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD Inc.
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Six Thousand Nine Hundred Forty Two and 00/100 Dollars (\$6,942.00)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of **monumentation in the Woods at Vermillion, Section 4.**

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1437WVRM4".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600."

This Letter of Credit is effective as of June 14, 2021 and shall expire on June 13, 2022, but such expiration date shall be automatically extended for a period of one year on June 10, 2022, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North CD Inc. by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

FILED

JUN 16 2021



We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

STANDARD FINANCIAL CORPORATION

A handwritten signature in blue ink, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.



COPY FOR FILE

June 14, 2021

Irrevocable Letter of Credit No.: 1436WVRM4

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD Inc.
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **One Hundred Six Thousand Eight Hundred Forty Two and 90/100 Dollars (\$106,842.90)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of storm sewers in the Woods at Vermillion, Section 4.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1436WVRM4".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600."

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FILED

JUN 16 2021

13578 E. 131st Street, Suite 200 • Fishers, Indiana 46037
Phone: 317-773-8353 • www.standardfincorp.com

OFFICE OF HAMILTON COUNTY SURVEYOR



We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

STANDARD FINANCIAL CORPORATION

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Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

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Phone: 317-773-8353 • www.standardfincorp.com



COPY FOR FILE

June 14, 2021

Irrevocable Letter of Credit No.: 1435WVRM4

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD Inc.
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Forty-Four Thousand Six Hundred Seven and 03/100 Dollars (\$44,607.03)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of erosion control in the Woods at Vermillion, Section 4.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1435WVRM4".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600."

This Letter of Credit is effective as of June 14, 2021 and shall expire on June 13, 2022, but such expiration date shall be automatically extended for a period of one year on June 13, 2022 and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North CD Inc. by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

FILED

JUN 16 2021



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Sincerely,

STANDARD FINANCIAL CORPORATION

A handwritten signature in blue ink, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Vermillion Drain
The Woods at Vermillion Section 4 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Woods at Vermillion Section 4 Arm** on **September 26, 2022** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

**Vermillion Drain,
The Woods at Vermillion Section 4 Arm**

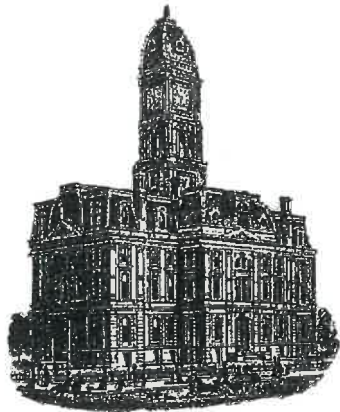
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **September 26, 2022** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

October 11, 2022

Re: Vermillion Drain: Woods at Vermillion Section 4

Attached are as-built, certificate of completion & compliance, and other information for Woods at Vermillion Section 4. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated August 18, 2022. The report was approved by the Board at the hearing held September 26, 2022. The changes are as follows: the 18" RCP was shortened from 400 feet to 341 feet. The project added 55 feet of 24" RCP. The 6" SSD was shortened from 2,650 to 2,612 feet. The length of the drain due to the changes described above is now **3,196 feet**. It should be noted that this project removed 20 feet of 24" RCP installed with the Woods at Vermillion Section 3.

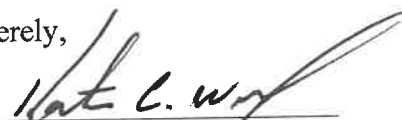
The non-enforcement was approved by the Board at its meeting on September 26, 2022, and recorded under instrument #2022047361.

The following sureties were guaranteed by Standard Financial Corporation and released by the Board on it October 24, 2022, meeting.

Bond-LC No: PB11328100044
Amount: \$106,842.90
For: Storm Sewers
Issue Date: June 24, 2014

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor


CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Woods at Vermillion Section 4 As-builts

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature:  Date: 2/14/2022

Type or Print Name: Andrew D. Baxter Jr.

Business Address: 10505 North College Ave.

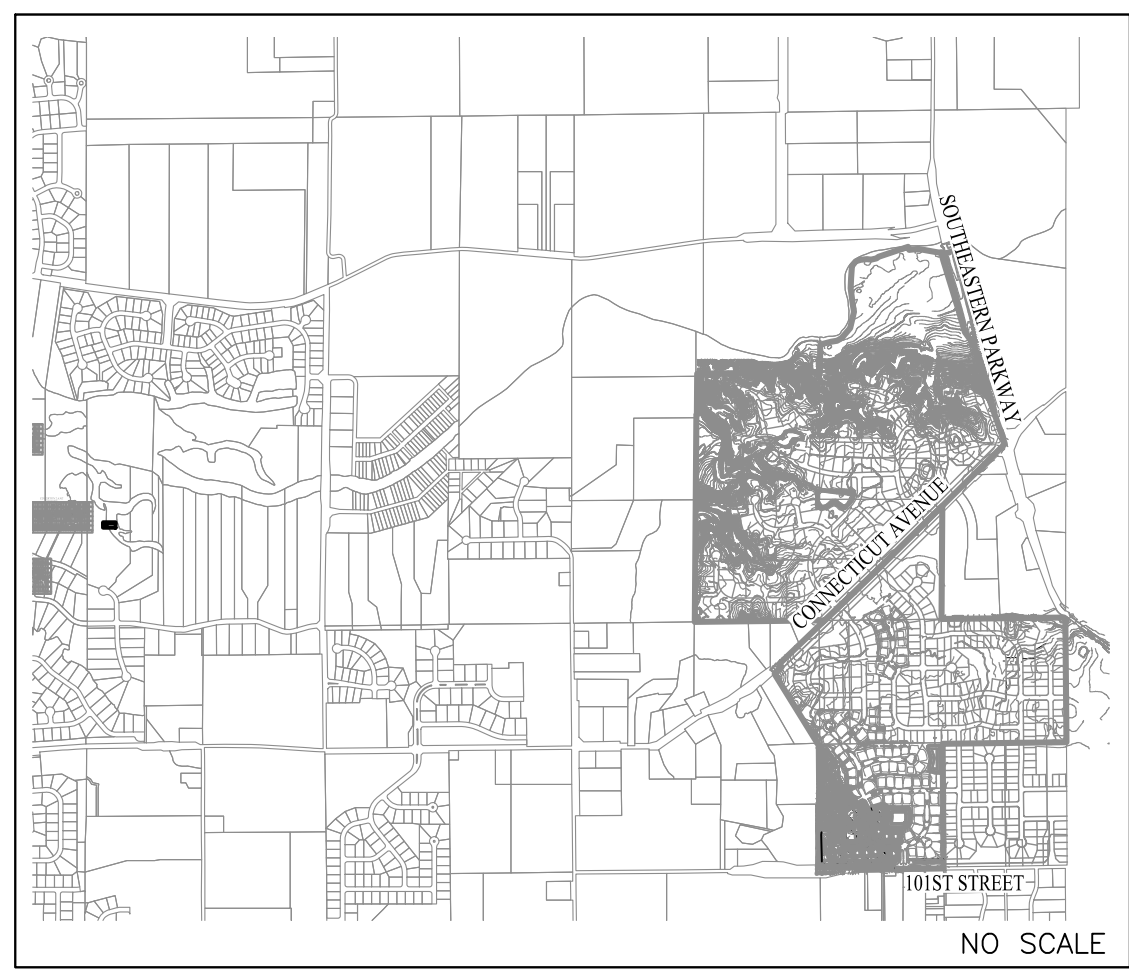
Indianapolis, IN 46280

Telephone Number: 317-846-6611



INDIANA REGISTRATION NUMBER

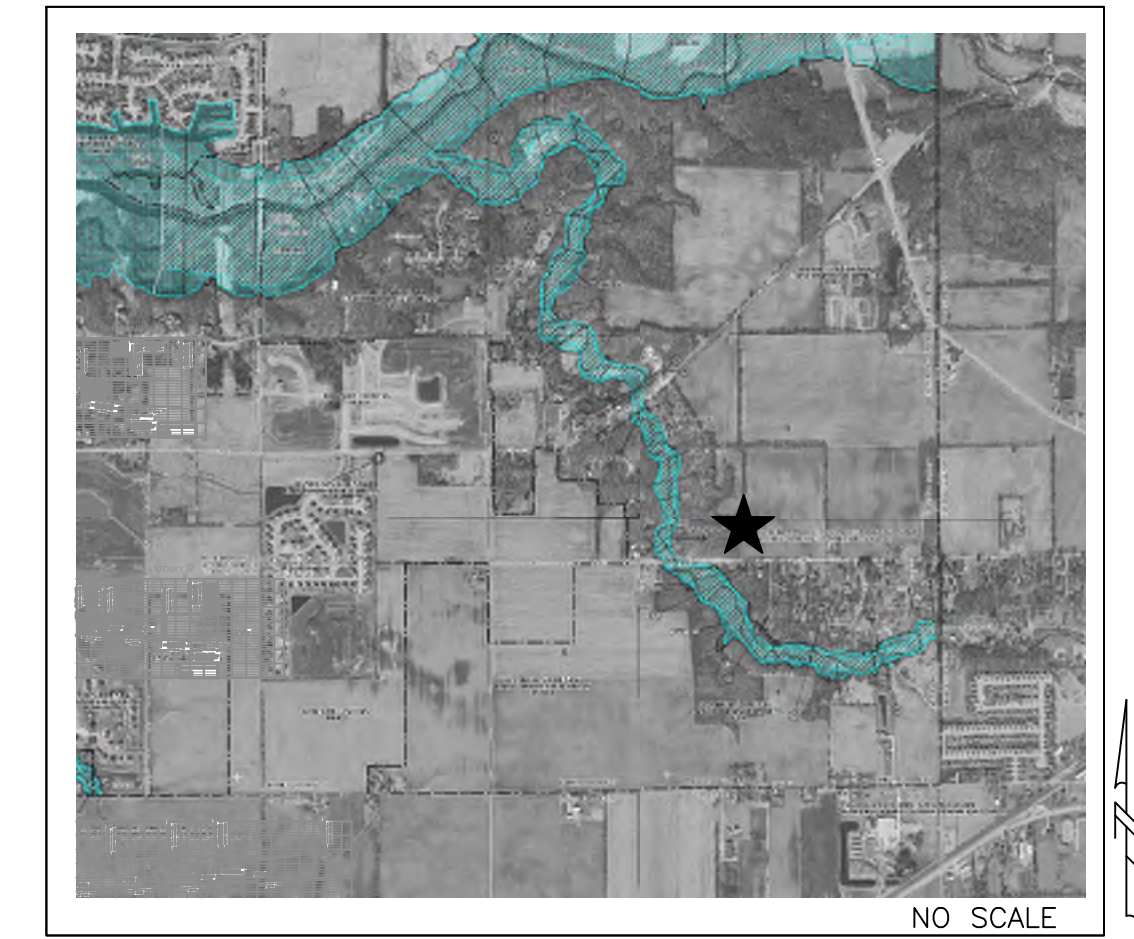
20400029



AREA LOCATION MAP

RECORD DRAWINGS THE WOODS AT VERMILLION SECTION FOUR

FALL CREEK TOWNSHIP, FORTVILLE, IN 46040



F.E.M.A. F.I.R.I.M.

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0259G AND #18057C0278G, NOVEMBER 19, 2014.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- THIS SITE DOES CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE, FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. WETLANDS ARE IMPACTED BY THIS DEVELOPMENT AS APPROVED BY IDNR PERMIT NO. 2017-810-29-JBT-X. SEE SHEET C100 FOR LOCATIONS.
- DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER TOWN OF FORTVILLE UTILITY STREET STANDARDS.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS. SHALL BE PROWAG COMPLIANT AND MEET ALL CURRENT INDOT STANDARD SPECIFICATIONS.
- A ROAD CUT WILL NOT BE PERMITTED FOR ANY UTILITY AFTER A PROOF ROLL HAS BEEN COMPLETED. PRIOR TO A PROOF ROLL, ANY UTILITY PLACED WITHIN THE LIMITS OF THE ROADWAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

BENCHMARK INFORMATION

SOURCE BENCHMARK
HGBR 285 - HAMILTON COUNTY GEODETIC CONTROL DISK SET IN NORTH END OF EAST CONCRETE HANDRAIL ON THE ATLANTA AVENUE (SOUTHEASTERN PARKWAY OR SR 238) BRIDGE OVER FALL CREEK.
EL=809.14 (NAVD 88)

HSE 29
HSE DISC IN CONCRETE IS 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST, 1800'+. EAST OF CYNTHIANE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FLATFORK CREEK.
N=1707462.37
E=269743.89
EL=855.00 (NAVD 88)

TBM - ENCLAVE 1
MAG NAIL SET IN THE WALK AT THE SOUTH SIDE OF DOMINION DRIVE AND KENSINGTON LANE, APPROXIMATELY 23' +/- SOUTH OF THE CENTERLINE OF DOMINION DRIVE AND 6' +/- WEST OF THE CENTERLINE OF KENSINGTON LANE IN THE ENCLAVE AT VERMILLION - SECTION ONE
N=1708922.08
E=271671.65
EL=862.36 (NAVD 88)

TBM - ENCLAVE 4
A BENCH SPIKE ON THE NORTH SIDE OF A UTILITY POLE ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 134' +/- SOUTH AND 61' +/- WEST OF THE SOUTHWEST CORNER OF LOT 307 IN THE WOODS AT VERMILLION - SECTION FOUR
N=1708404.38
E=270984.89
EL=864.02 (NAVD 88)

TBM - WOODS 5
A BENCH SPIKE ON THE NORTH SIDE OF A UTILITY POLE ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 134' +/- SOUTH AND 61' +/- WEST OF THE SOUTHWEST CORNER OF LOT 307 IN THE WOODS AT VERMILLION - SECTION FOUR
N=1708404.38
E=270984.89
EL=864.02 (NAVD 88)

STREET DATA

STREET LENGTHS:	
EDGERTON LANE	590.25 L.F. ±
ARNDALE COURT	405.38 L.F. ±
PERRAULT COURT	217.10 L.F. ±
TOTAL	1212.73 L.F. ±

NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.

SITE AREA:	
SITE LOTS	13.02 AC ±
	25

NOTE:
THE ABOVE BENCHMARKS ARE
LABELED AND MARKED ON THE
SITE MAP (RIGHT).

OPERATING AUTHORITIES:

FISHERS DEPARTMENT OF COMMUNITY DEVELOPMENT
ONE MUNICIPAL DRIVE
FISHERS, IN 46038
317-595-3126
ATTN: MEGAN SCHAEFER

FORTVILLE WATER
714 E. BROADWAY ST.
FORTVILLE, IN 46040
317-485-4044
ATTN: JOE RENNER

HAMILTON COUNTY HIGHWAY DEPARTMENT
1700 S. 10TH STREET
NOBLESVILLE, IN 46060
317-773-7770
ATTN: DAVID LUCAS

SAMCO/ HSE UTILITIES
11901 LAKESIDE DRIVE
FISHERS, IN 46038
317-571-1150
ATTN: THOMAS KALLIO

NINESTAR CONNECT (TELEPHONE)
P.O. BOX 108
MAXWELL, IN 46154
317-323-2078
ATTN: GEORGE PLUSINKI

TRIAD ASSOCIATES (CONSULTANT TO THE TOWN OF FORTVILLE)
5835 LAWTON LOOP EAST DRIVE
INDIANAPOLIS, IN 46216
317-377-5230
ATTN: DICK MOSIER

NINESTAR CONNECT (POWER)
2243 EAST MAIN STREET
GREENFIELD, IN 46140
317-323-2087
ATTN: JOHN SPLATTER

EMBARQ/ CENTURY LINK
50 NORTH JACKSON STREET
FRANKLIN, IN 46131
317-736-4863
ATTN: DAVID MEYERS

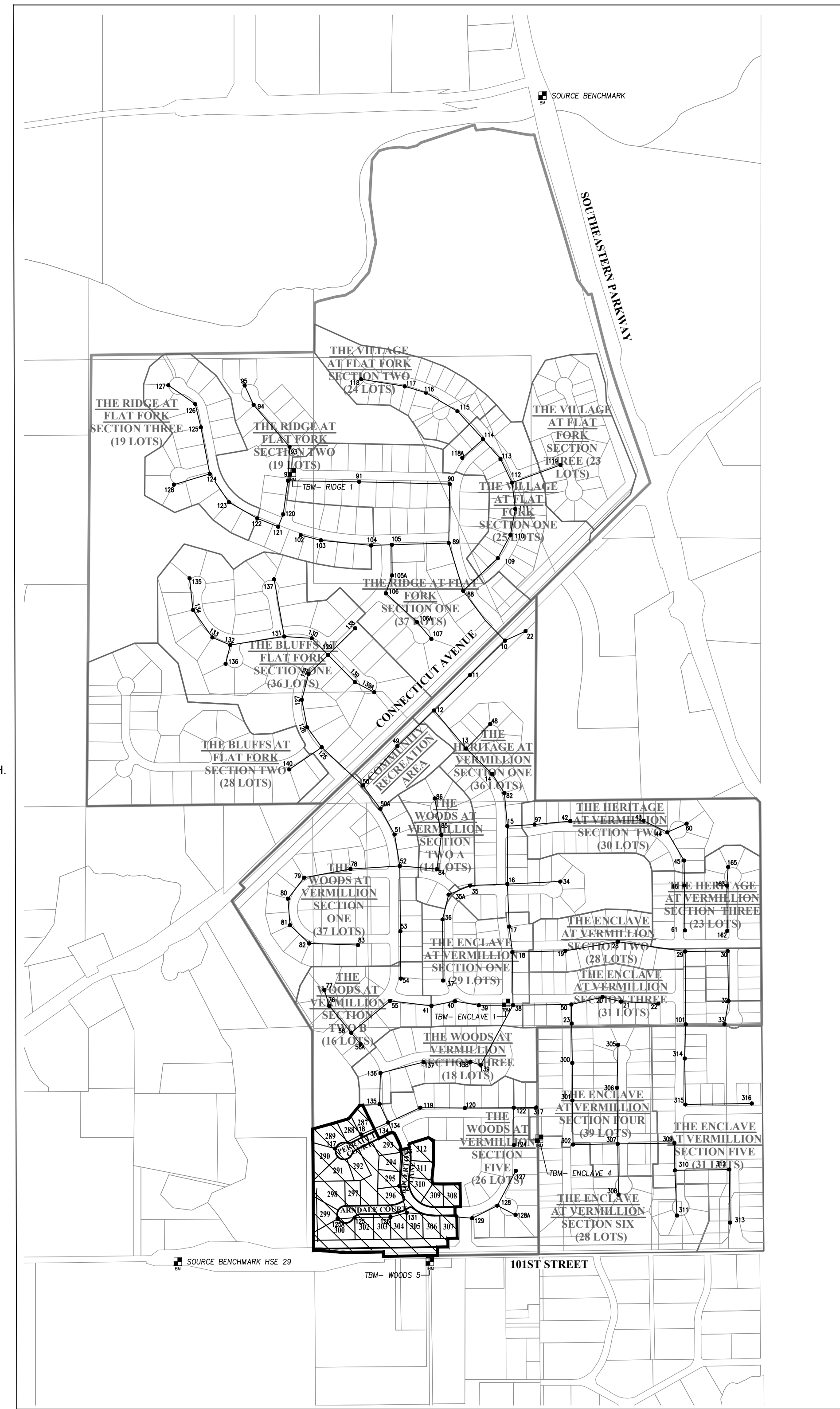
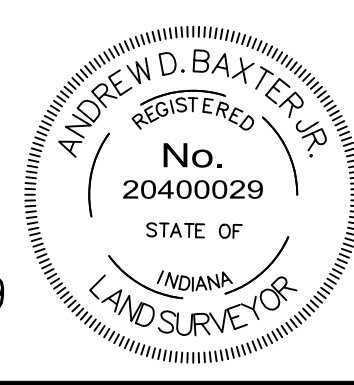
HAMILTON COUNTY SURVEYOR
ONE HAMILTON COUNTY SQUARE, SUITE 188
NOBLESVILLE, INDIANA 46060
317-776-8495
ATTN: STEVE CASH

VECTREN
16000 ALLISONVILLE ROAD
NOBLESVILLE, IN 46061
317-776-5532
ATTN: JOANIE CLARK

COMCAST
5330 E. 65TH STREET
INDIANAPOLIS, IN 46220
317-774-3384
ATTN: MATT STRINGER

RECORD DRAWING
2/11/2022

ANDREW D. BAXTER JR., L.S. 20400029



SITE MAP

SHEET NO.	DESCRIPTION
C001	TITLE SHEET
C100	EXISTING CONDITIONS / DEMOLITION PLAN
C200	STORMWATER POLLUTION PREVENTION PLAN PHASE I
C201	STORMWATER POLLUTION PREVENTION PLAN PHASE II
C202-C203	STORMWATER POLLUTION PREVENTION DETAILS & SPECS.
C300	DEVELOPMENT PLAN
C301	EMERGENCY FLOOD ROUTING PLAN
C400-C401	STREET PLAN & PROFILE
C402	INTERSECTION DETAILS
C403	ADA RAMP DETAILS
C404-407	STREET DETAILS & SPECIFICATIONS
C408	TRAFFIC CONTROL/SIGNAGE/STREET LIGHT/SUMP PLAN
C500-C502	SANITARY SEWER PLAN & PROFILE
C503-C505	SANITARY SEWER DETAILS & SPECIFICATIONS
C600	STORM SEWER PLAN & PROFILE
C601-C602	STORM SEWER DETAILS
C700	WATER MAIN PLAN
C701-C703	WATER MAIN DETAILS/SPECIFICATIONS
L100-L102	LANDSCAPE PLAN

LEGAL DESCRIPTION

Part of the West Half of the Northeast Quarter of Section 8, in Township 17 North, Range 6 East, Second Principal Meridian, Fall Creek Township, Hamilton County, Indiana, described as follows:

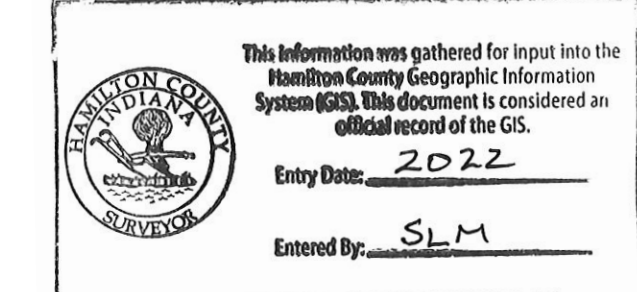
Commencing at the Northwest corner of said Northwest Quarter; thence along the North line of said Quarter Section North 89 degrees 18 minutes 31 seconds East (assumed bearing) 72.60 feet to its intersection with the centerline of Connecticut Avenue, said point being on the northwesterly line of the Woods at Vermillion, Section One, as per plat thereof, recorded in Plat Cabinet 5, Slide 378, pages 1 through 6, Instrument No. 2015044855, in the Office of the Recorder of Hamilton County, Indiana, the next four courses are along the northwesterly and southwesterly lines of said subdivision and an extension thereof; thence (1) South 48 degrees 07 minutes 37 seconds West 676.10 feet; thence (2) South 44 degrees 00 minutes 06 seconds East 40.00 feet; thence (3) South 45 degrees 04 minutes 30 seconds West 105.88 feet; thence (4) South 31 degrees 46 minutes 52 seconds East 895.60 feet to the West line of said quarter section; thence along said West line South 00 degrees 25 minutes 06 seconds East 578.60 feet to the Point of Beginning, said point being the southwest corner of The Woods at Vermillion Section 2B, as per plat thereof, recorded in Plat Cabinet 5, Slide 719, Instrument No. 2017043086 in said Recorder's Office, the next three courses are along the southerly line of said subdivision; thence (1) North 74 degrees 30 minutes 36 seconds East 127.58 feet; thence (2) North 73 degrees 27 minutes 26 seconds East 91.93 feet; thence (3) North 39 degrees 31 minutes 18 seconds East 100.98 feet; thence North 86 degrees 06 minutes 46 seconds East 18.08 feet to a point on the westerly line of The Woods at Vermillion Section 5, as per plat thereof, recorded in Plat Cabinet 5, Slide 1160, Instrument No. 2020049170 in said Recorder's Office, the next twenty-three (23) courses are along the westerly line of said subdivision; thence (1) South 26 degrees 13 minutes 56 seconds East 217.50 feet; thence (2) North 03 degrees 46 minutes 04 seconds East 75.00 feet to the point of curvature of a curve concave southwesterly having a radius of 20.00 feet, the radius point of said curve bears South 26 degrees 13 minutes 56 seconds East 43.14 feet to the point of curvature of curve concave southwesterly having a radius of 225.00 feet, the radius point of which bears South 63 degrees 46 minutes 04 seconds West from said point; thence (5) southeasterly along said curve 54.57 feet to a point which bears North 77 degrees 39 minutes 51 seconds East from the radius point; thence (6) North 77 degrees 39 minutes 51 seconds East 50.00 feet to a point on a non-tangent curve concave southwesterly having a radius of 275.00 feet, the radius of which bears North 77 degrees 39 minutes 51 seconds West; thence (7) northwesterly along said curve 24.35 feet to a point which bears North 72 degrees 35 minutes 06 seconds East from the radius point; thence (8) North 72 degrees 35 minutes 26 seconds East 122.14 feet; thence (9) South 60 degrees 24 minutes 04 seconds East 35.34 feet; thence (10) South 00 degrees 09 minutes 39 seconds West 124.97 feet; thence (11) South 05 degrees 40 minutes 14 seconds West 104.77 feet; thence (12) South 13 degrees 38 minutes 38 seconds East 24.55 feet; thence (13) South 88 degrees 27 minutes 40 seconds East 59.94 feet; thence (14) South 89 degrees 07 minutes 57 seconds East 100.00 feet; thence (15) South 00 degrees 52 minutes 03 seconds East 135.00 feet; thence (16) South 09 degrees 07 minutes 57 seconds East 32.37 feet; thence (17) South 00 degrees 52 minutes 03 seconds East 50.00 feet; thence (18) North 89 degrees 07 minutes 57 seconds East 6.00 feet to the point of curvature of a curve concave southerly having a radius of 20.00 feet, the radius of said curve bears South 00 degrees 52 minutes 03 seconds East from said point; thence (19) easterly along said curve 4.71 feet to a point which bears North 72 degrees 38 minutes 35 seconds East from the radius point; thence (20) South 00 degrees 41 minutes 07 seconds East 134.58 feet; thence (21) South 89 degrees 11 minutes 28 seconds West 54.53 feet; thence (22) South 00 degrees 48 minutes 32 seconds East 50.00 feet; thence (23) South 00 degrees 11 minutes 28 seconds West 61.15 feet; thence (24) South 00 degrees 48 minutes 32 seconds East 50.00 feet to the South line of said Half Quarter Section; thence along the South line of said Half Quarter Section South 89 degrees 11 minutes 28 seconds West 318.61 feet to the southwest corner of the right of way conveyed to the Board of Commissioners of Hamilton County as described in Instrument No. 2008015453, the next four calls are along said right of way line; thence (1) North 00 degrees 52 minutes 12 seconds West 25.43 feet; thence (2) South 89 degrees 01 minutes 59 seconds West 225.00 feet; thence (3) North 85 degrees 15 minutes 22 seconds West 150.75 feet; thence (4) South 89 degrees 23 minutes 33 seconds West 34.54 feet to the West line of said Quarter Section; thence along said West line North 00 degrees 25 minutes 06 seconds West 714.47 feet to the point of beginning, containing 13.02 acres, more or less.

PLANS PREPARED FOR

REPUBLIC DEVELOPMENT
NORTH CONNECTICUT DEVELOPMENT CORP.
13578 EAST 131ST STREET, SUITE 200
FISHERS, IN 46037
TELEPHONE: 317-770-1818
CONTACT PERSON: DOUG WAGNER
EMAIL: dwagner@republicdev.com

PLANS PREPARED BY

WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, IN 46280
(317) 846-6611
CONTACT PERSON: JIM PENCE
EMAIL: pencej@weihe.net



NOTE: THE HAMILTON COUNTY SURVEYOR'S OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.



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LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

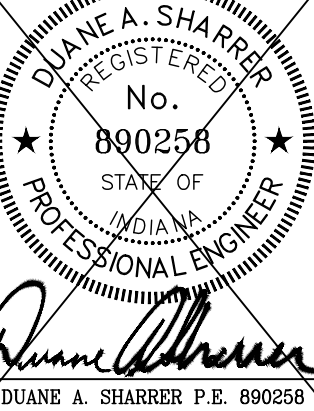
10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net



317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax

Land Surveying | Civil Engineering
Landscape Architecture

DATE	BY	REVISIONS AND ISSUES
03/03/2022	ME	PROJECT NO. W150253-4
04/05/2022	ME	DWG. NAME: AS CON'T. THIS SHEET
06/07/2022	ME	DESIGNED BY: JEP
06/16/2022	OK	DRAWN BY: JEP
12/17/2021	OK	CHECKED BY: JP
		DATE: 02-01-2021



DUANE A. SHARRER P.E. 890256

PREPARED FOR:
**THE WOODS AT VERMILLION
SECTION FOUR**
NORTH CONNECTICUT DEVELOPMENT CORP.

TITLE SHEET
SHEET NO. **C001**
PROJECT NO. **W150253-4**

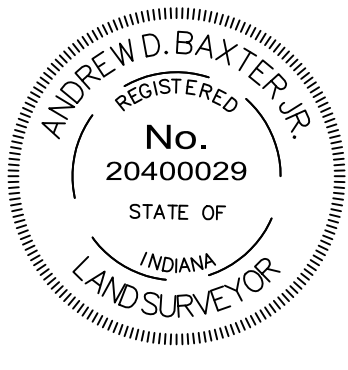
RECORD DRAWING

DEVELOPMENT PLAN AS-BUILTS

PADS AND SWALES ONLY

2/11/2022

ANDREW D. BAXTER JR., L.S. 20400029



BENCHMARK INFORMATION

SOURCE BENCHMARK
HCBR 285 - HAMILTON COUNTY GEODETIC CONTROL DISK SET IN NORTH END OF EAST CONCRETE HANDRAIL ON THE ATLANTA AVENUE (SOUTHEASTERN PARKWAY OR SR 238) BRIDGE OVER FALL CREEK.
EL=809.14 (NAVD 88)

HSE 29
HSE DISC IN CONCRETE IS 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST. 180°+/- EAST OF CYRIL ANNE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FALFORK CREEK.
N=1707462.37
E=269743.89
EL=855.00 (NAVD 88)

TBM - ENCLAVE 1
MAG NAIL SET IN THE WALK AT THE SOUTH SIDE OF DOMINION DRIVE AND KENSINGTON LANE, APPROXIMATELY 23' +/- SOUTH OF THE CENTERLINE OF DOMINION DRIVE AND 6' +/- WEST OF THE CENTERLINE OF KENSINGTON LANE IN THE ENCLAVE AT VERMILLION - SECTION ONE
N=1708982.08
E=271671.65
EL=862.36 (NAVD 88)

TBM - ENCLAVE 4
BENCH THE SET IN EAST SIDE OF 6"x6" CORNER POST, 6.4 FEET NORTH AND 11.3 FEET WEST OF THE SOUTHWEST CORNER OF LOT #217 ENCLAVE AT VERMILLION, SECTION 4
ELEV.= 865.90 NAVD 88

TBM - WOODS 5
A BENCH SPIKE ON THE NORTH SIDE OF A UTILITY POLE ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 134' +/- SOUTH AND 61' +/- WEST OF THE SOUTHWEST CORNER OF LOT 307 IN THE WOODS AT VERMILLION - SECTION FOUR
N=1708404.38
E=270984.89
EL=864.02 (NAVD 88)

- ▲ AS-BUILT INFORMATION
 - ✓ BUILT AS PLANNED
 - ▽ AS-BUILT SPOT ELEVATION
 - AS-BUILT SUBSURFACE DRAIN
- DATE OF LAST FIELDWORK: 1/17/2022

LEGEND

- FO FIBER OPTIC
- MAN SANITARY SEWER, MANHOLE
- STR SANITARY STUB MARKER
- WALL STORM SEWER, HEADWALL
- INLET CURB INLET, MANHOLE
- INLET ROUND INLET, SQUARE INLET
- VALVE GAS, VALVE
- HYDRANT WATER, FIRE HYDRANT, WELL, METER, VALVE
- ELECTR UNDERGROUND ELECTRIC, PEDESTAL, TRANSFORMER
- OHU OVERHEAD UTILITY, GUY WIRE, POLE, PEDESTAL
- BF BOARD FENCE
- FF FARM FENCE
- FL FLOW LINE
- IC INDEX CONTOUR
- INT INTERMEDIATE CONTOUR
- TL TREE LINE
- GE GROUND ELEVATION
- CB CONIFEROUS BUSH
- DB DECIDUOUS BUSH
- DT DECIDUOUS TREE
- POST POST
- MB MAIL BOX
- BL BOLLARD
- TEMPORARY BENCH MARK
- T.C. TOP OF CASTING
- INVERT INVERT
- RCP REINFORCED CONC. PIPE
- CMP CORRUGATED METAL PIPE
- PVC POLY VINYL CHLORIDE
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- M.H. MANHOLE
- STR. STRUCTURE
- HW HEADWALL
- EX. EXISTING
- ROW RIGHT-OF-WAY
- B-B BACK OF CURB
- APPROX. APPROXIMATE
- ELEV. ELEVATION
- CONC. CONCRETE
- LP LOW POINT
- HP HIGH POINT
- ME MATCH EXISTING
- TYP. TYPICAL
- B.S.L. BUILDING SETBACK LINE
- SSD SUB-SURFACE DRAIN
- AD ACRE
- SF SQUARE FEET
- R. RADIUS
- VAR. VARIABLE WIDTH
- RDE REGULATED DRAINAGE EASEMENT
- MFFE MINIMUM FINISH FLOOR ELEVATION
- MFGP MINIMUM FLOOD PROTECTION GRADE
- (112) SANITARY STR. LABEL
- (132) STORM STR. LABEL
- FLOW DIRECTION
- RIGHT-OF-WAY
- SPACE BASED ON PIPE SIZE
- AD RAMP
- STR. STORM SEWER, CONC. END SECTION, CURB INLET, YARD INLET, MANHOLE
- SWALE
- 6" SSD (UNLESS DENOTED OTHERWISE)
- SANITARY SEWER, MANHOLE, LATERAL

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
3. ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
4. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
5. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
6. ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
7. 2" ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
8. A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
9. ANY DRAINAGE TILE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
10. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLEMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION, PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTING TEST SHALL BE RUN ON EACH LIFT. IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
11. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
12. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
13. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
14. ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
15. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
16. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
17. PROVIDE POSITIVE DRAINAGE WITHOUT PONDED IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDED CONDITIONS.
18. ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS)
19. THE FINISHED FLOOR GRADE FOR EACH LOT MUST BE 6" ABOVE PAD, CENTER OF LOT, M.F.P.G OR M.F.F.E., WHICHEVER IS HIGHEST.
20. FINISHED FLOOR ELEVATION (FFE)

PRODUCT FFE
SLAB ON GRADE 0.7+PAD ELEVATION
BASEMENT 1.0+PAD ELEVATION

*PAD ELEVATION PER LOT SHOWN ON DEVELOPMENT PLAN

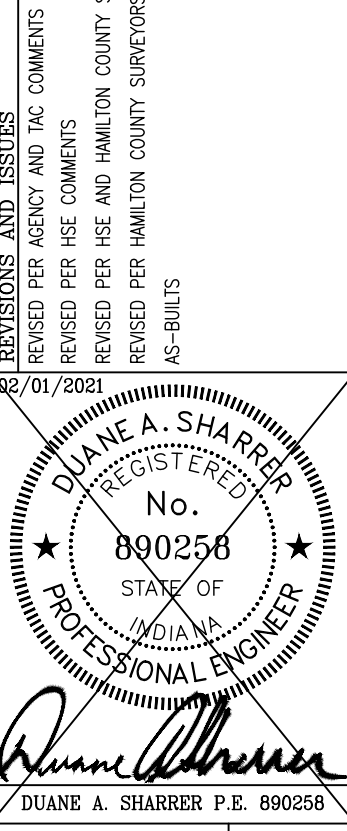
UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATION ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING FFE ESTABLISHED HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT.

10505 N. College Avenue
Indianapolis, Indiana 46280
w@weiheng.com
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 (fax)



DATE	BY	REVISIONS AND ISSUES
03/03/2022	WJ	W150253-4
04/05/2022	WJ	REVISED PER HSE COMMENTS
06/07/2022	WJ	REVISED PER HSE AND HAMILTON COUNTY SURVEYORS COMMENTS
06/16/2022	WJ	REVISED PER HAMILTON COUNTY SURVEYORS COMMENTS
12/17/2021	WJ	AS-BUILTS

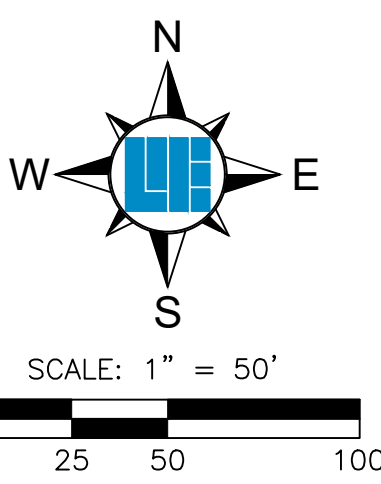
UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATION ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING FFE ESTABLISHED HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT.



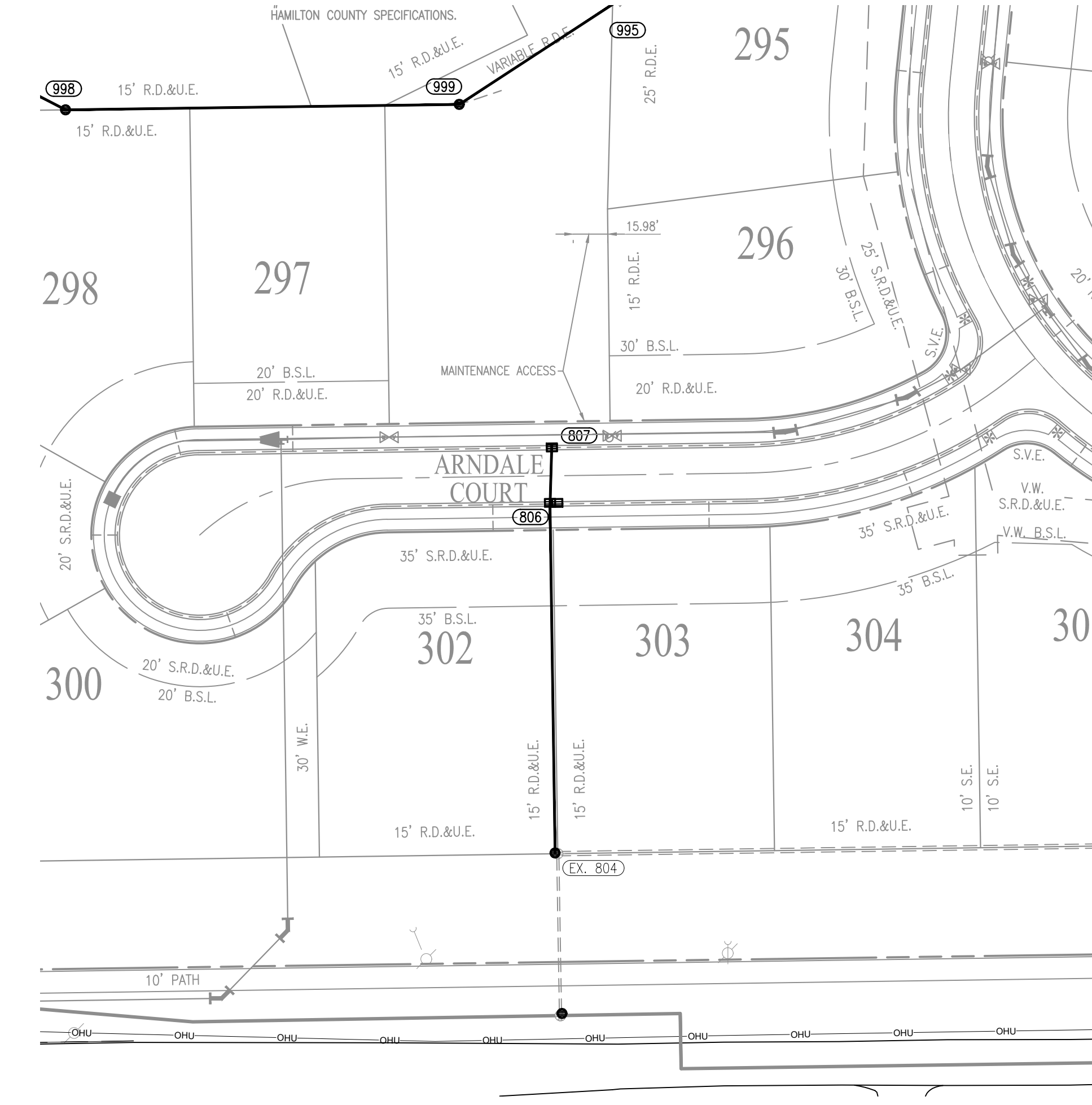
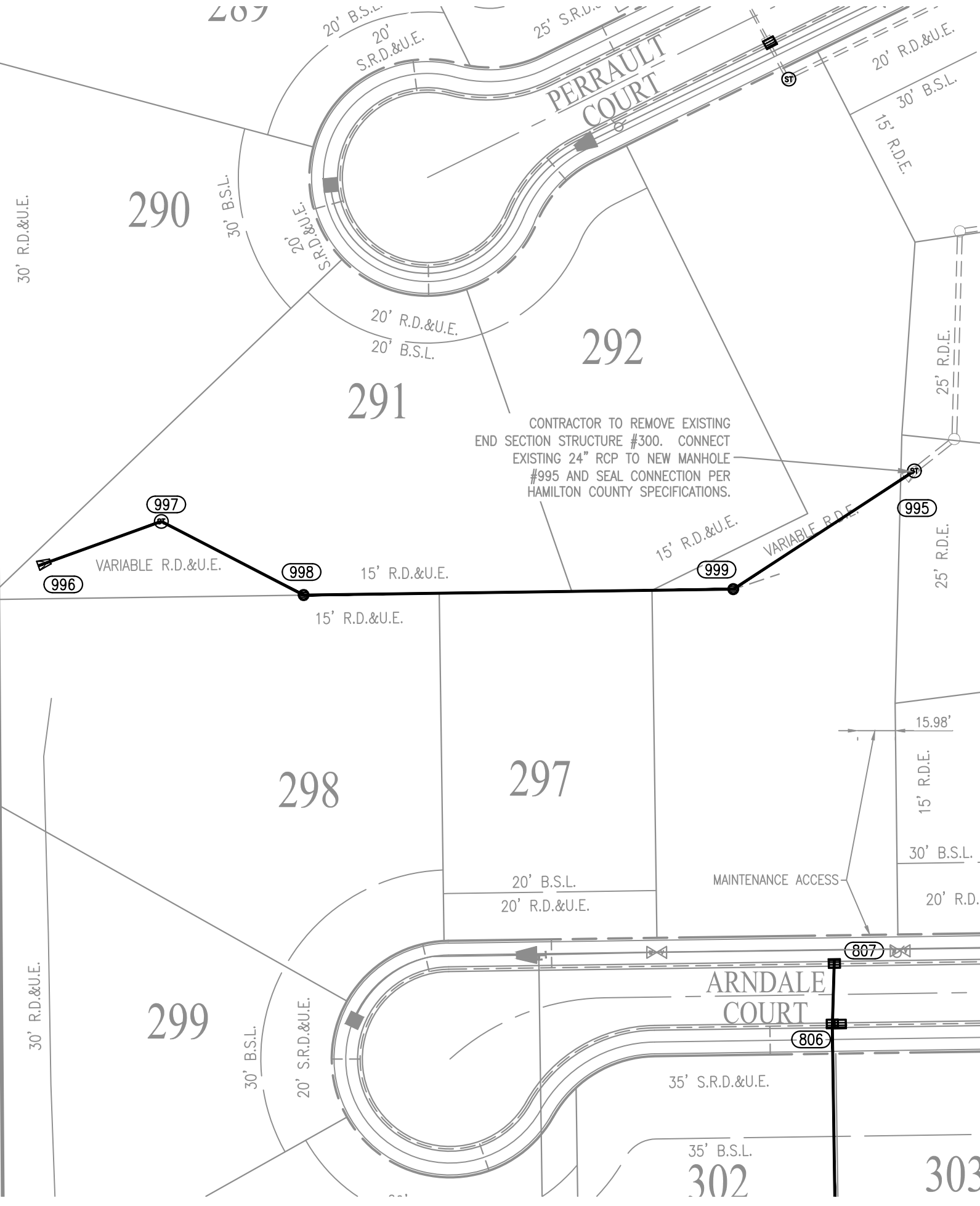
DUANE A. SHARRER P.E. 890256

PREPARED FOR:
THE WOODS AT VERMILLION
SECTION FOUR
NORTH CONNECTICUT DEVELOPMENT CORP.
DEVELOPMENT PLAN

SHEET NO.
C300
PROJECT NO.
W150253-4

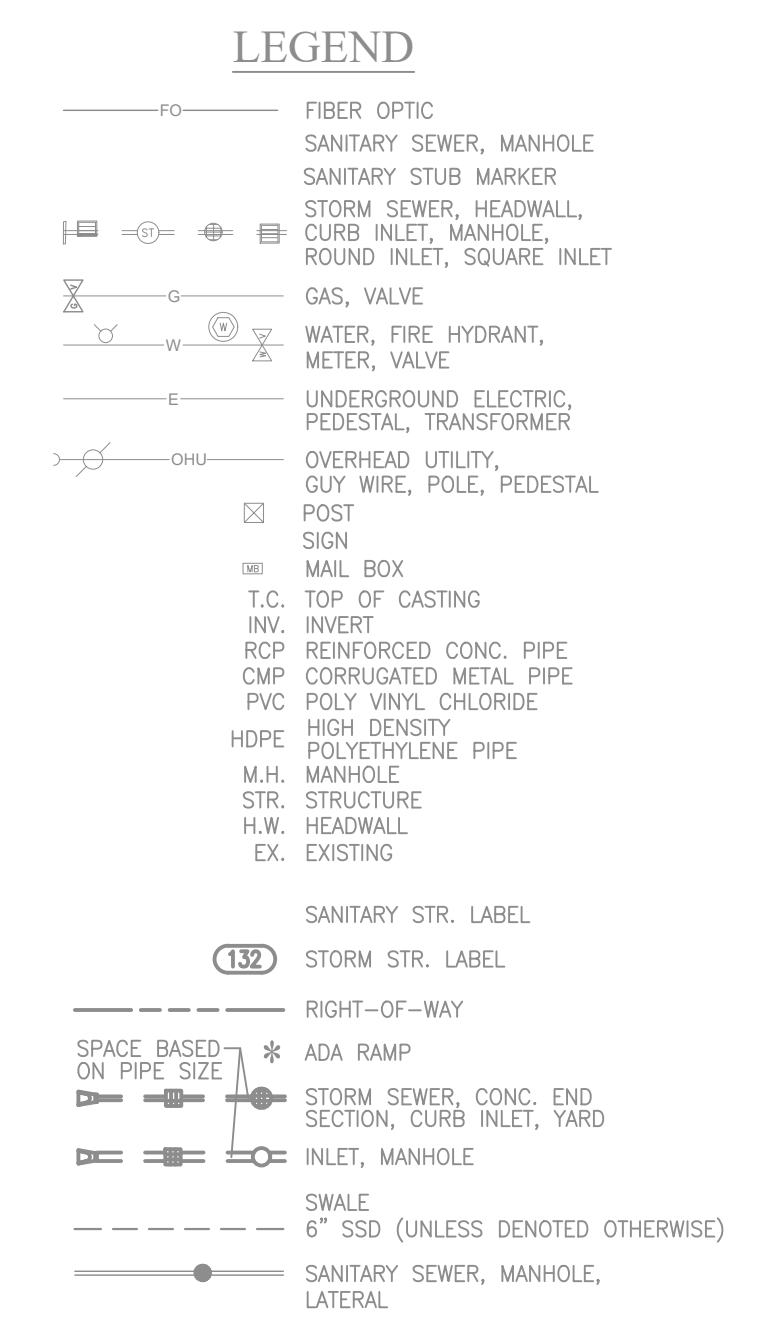


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IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.



STORM SEWER NOTES

- 1. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND STORMWATER POLLUTION PREVENTION PLAN.
2. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS.
3. THE CONTRACTOR SHALL CONTACT APPLICABLE STATE UNDERGROUND LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO ANY WORK AND SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
4. THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES, PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR.
5. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. WITHIN THE CONSTRUCTION LIMITS.
6. THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
7. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
8. ANY PART OF STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
9. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK.
10. CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE, SHALL MAINTAIN 10' HORIZONTAL AND 18" VERTICAL.
11. CONTRACTOR TO INSTALL CONCRETE CRADLES AT PIPE CROSSING WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWERS, WATER MAINS AND STORM SEWERS IS 18" OR LESS.
12. WHEN PERFORMING EXCAVATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DRAINAGE, DRAINAGE AND GROUND WATER MAINTENANCE TO CONTROL MOISTURE OF SOILS.
13. COMPACTED "B" BORROW BACK FILL REQUIRED OVER ALL UTILITIES IN PAVED AREAS.
14. ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
15. COORDINATE LOCATIONS AND CONNECTIONS OF BUILDING STORM LINES WITH PLUMBING DRAWINGS.
16. FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO STORM SEWER INSTALLATION.
17. ALL EXISTING MANHOLE AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
18. EXISTING PIPES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
19. ALL STORM PIPE CONNECTIONS AT STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
20. ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS RATED FOR H20 LOADING.
21. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR CHANNEL FROM INVERT TO INVERT OUT.
22. NEW PIPES AND STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS PRIOR TO FINAL TURNOVER TO THE OWNER.
23. IF HDPE PIPE IS SPECIFIED USE DUAL WALLED, HANCOR HQ. ADS-N12 PIPE OR APPROVED EQUAL.
24. ALL FITTINGS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO END CAPS, CLEANOUTS, REDUCERS, ETC., SHALL BE HDPE MATERIAL; IF SPECIFIED, COMPARABLE WITH STORAGE PIPES.
25. PROVIDE BACKFILL WITH A MINIMUM OF 4" BEDDING MATERIAL OF #8 AGGREGATE COMPACTED IN 8" LIFTS TO 95% MAXIMUM DRY DENSITY.
26. VERIFY EXISTING STORM INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.

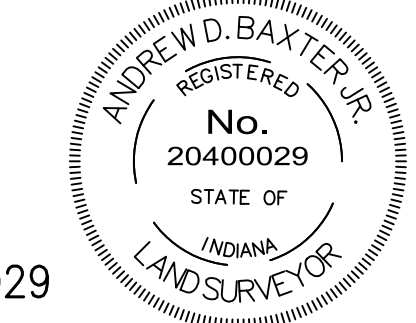


BENCHMARK INFORMATION

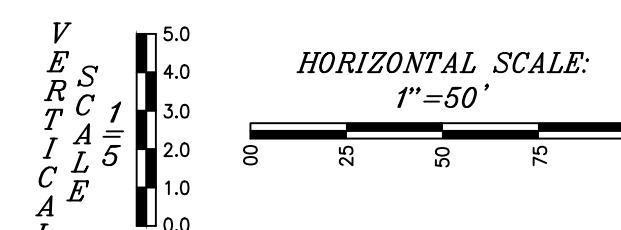
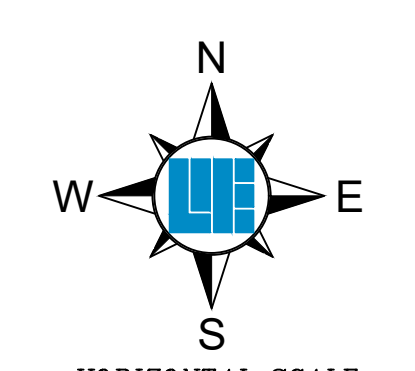
SOURCE BENCHMARK
HCBR 285 - HAMILTON COUNTY GEODETIC CONTROL DISK SET IN NORTH END OF EAST CONCRETE HANDRAIL ON THE ATLANTA AVENUE (SOUTHEASTERN PARKWAY OR SR 238) BRIDGE OVER FALL CREEK.
EL=809.14 (NAVD 88)
HSE 29
HSE DISC IN CONCRETE IS 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST., 1800'+- EAST OF CYNTHIANE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FLATFORK CREEK.
N=1707462.37
E=269743.89
EL=855.00 (NAVD 88)
TBM - ENCLAVE 1
MAG NAIL SET IN THE WALK AT THE SOUTH SIDE OF DOMINION DRIVE AND KENSINGTON LANE, APPROXIMATELY 23' +/- SOUTH OF THE CENTERLINE OF DOMINION DRIVE AND 6' +/- WEST OF THE CENTERLINE OF KENSINGTON LANE IN THE ENCLAVE AT VERMILLION - SECTION ONE
N=1706982.08
E=271671.65
EL=862.36 (NAVD 88)
TBM - ENCLAVE 4
BENCH THE SET IN EAST SIDE OF 6'X6' CORNER POST, 6.4 FEET NORTH AND 11.3 FEET WEST OF THE SOUTHEAST CORNER OF LOT #217 ENCLAVE AT VERMILLION, SECTION 4.
ELEV. = 865.90 NAVD 88
TBM - WOODS 5
A BENCH SPIKE ON THE NORTH SIDE OF A UTILITY POLE ON THE WEST SIDE OF 101ST STREET, APPROXIMATELY 134' +/- SOUTH AND 61' +/- WEST OF THE SOUTHWEST CORNER OF LOT 307 IN THE WOODS AT VERMILLION - SECTION FOUR
N=1708404.38
E=270984.89
EL=864.02 (NAVD 88)

RECORD DRAWING

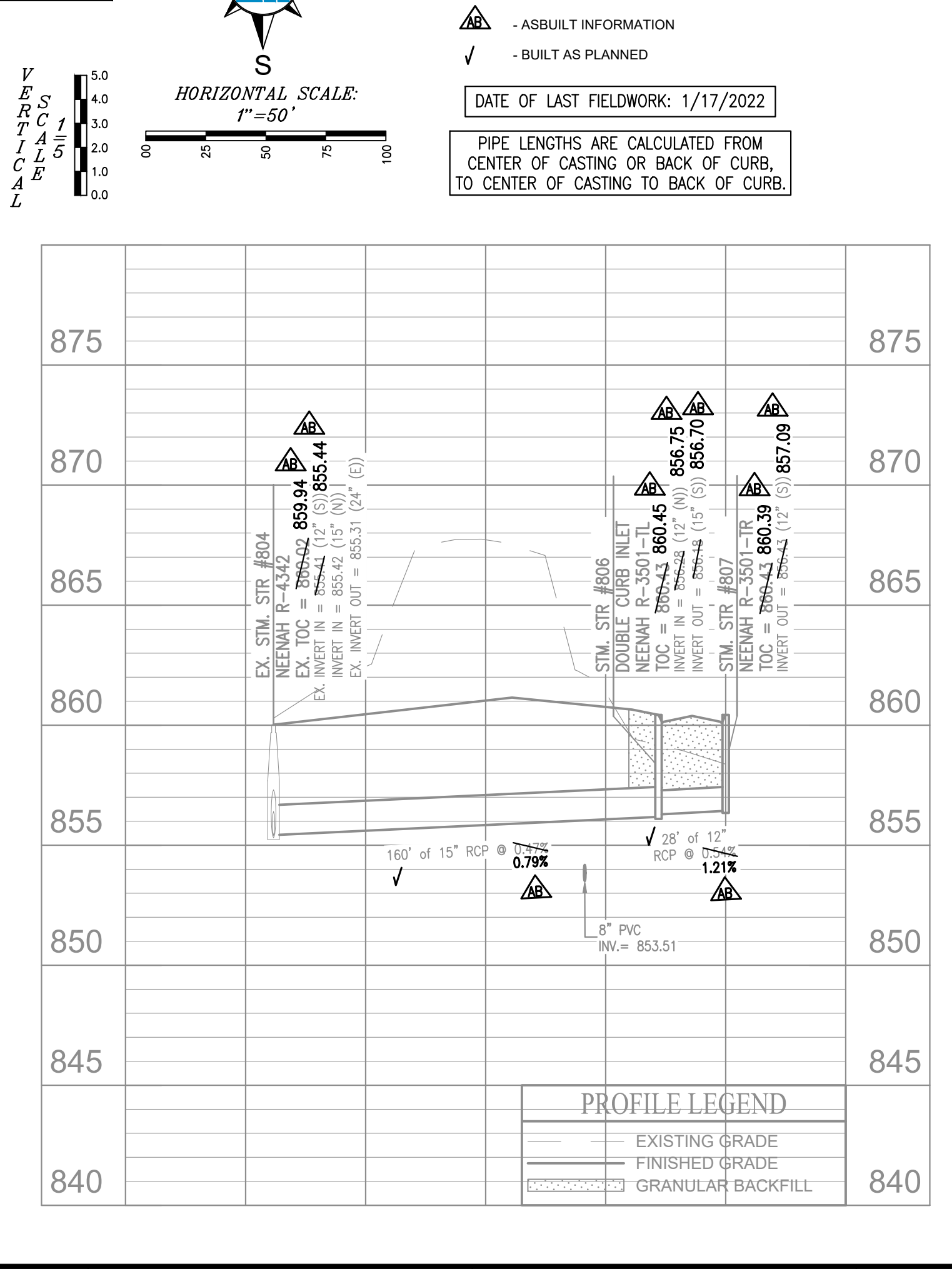
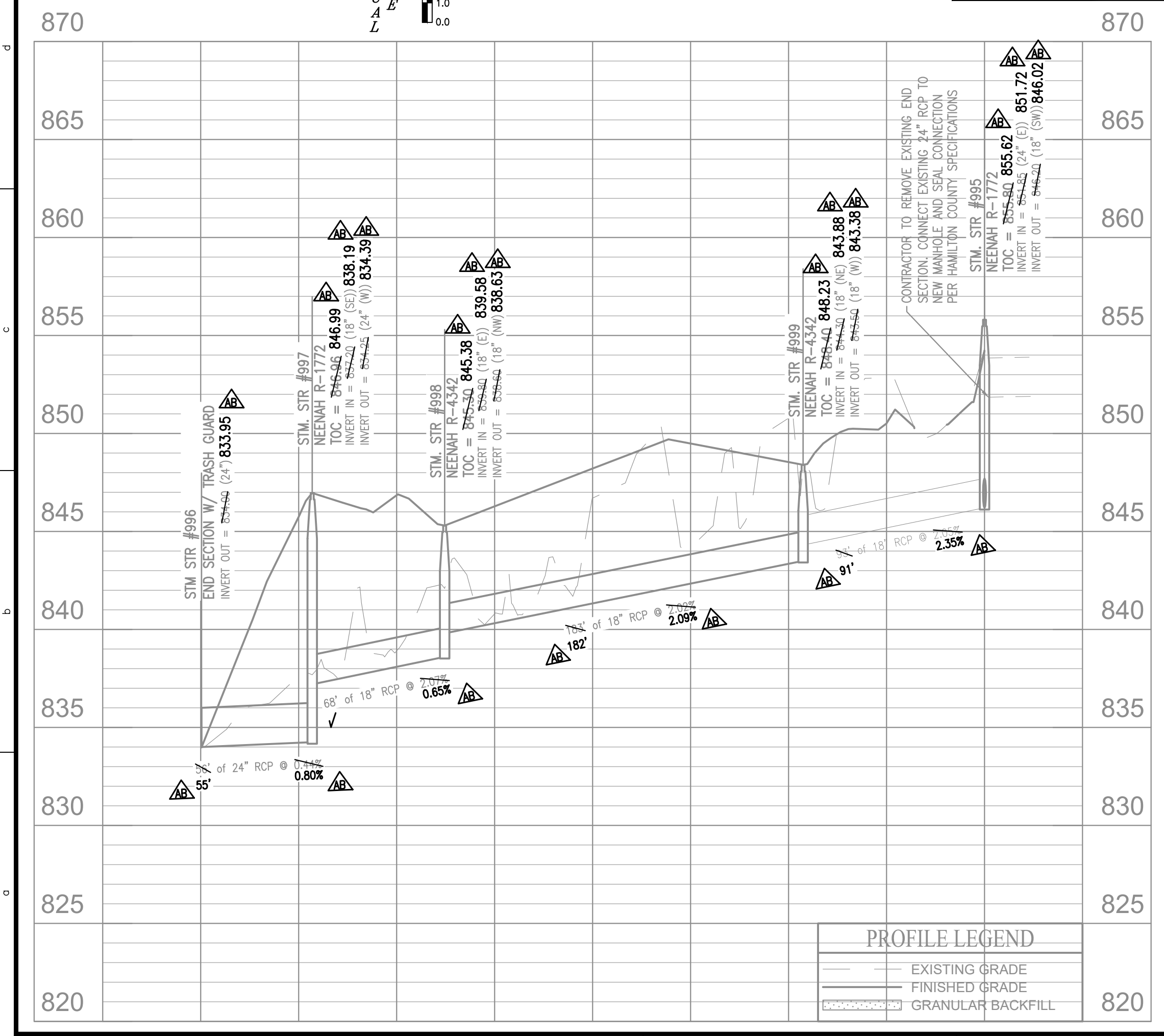
STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
2/11/2022
ANDREW D. BAXTER JR., L.S. 20400029



NOTES:
EXCEPT FOR FORCE MAINS, CONTRACTOR TO INSTALL CONCRETE CRADLES WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWER FACILITIES AND STORM SEWERS IS 18" OR LESS.



AS-BUILT INFORMATION
BUILT AS PLANNED
DATE OF LAST FIELDWORK: 1/17/2022
PIPE LENGTHS ARE CALCULATED FROM CENTER OF CASTING OR BACK OF CURB, TO CENTER OF CASTING TO BACK OF CURB.



STORM SEWER STRUCTURE DATA TABLE
STRUCTURE NUMBER | STRUCTURE TYPE | TOP OF CASTING | CASTING TYPE | INVERT

STORM SEWER PIPE DATA TABLE
DOWNSTREAM STRUCTURE | UPSTREAM STRUCTURE | SIZE | MATERIAL | LENGTH | SLOPE

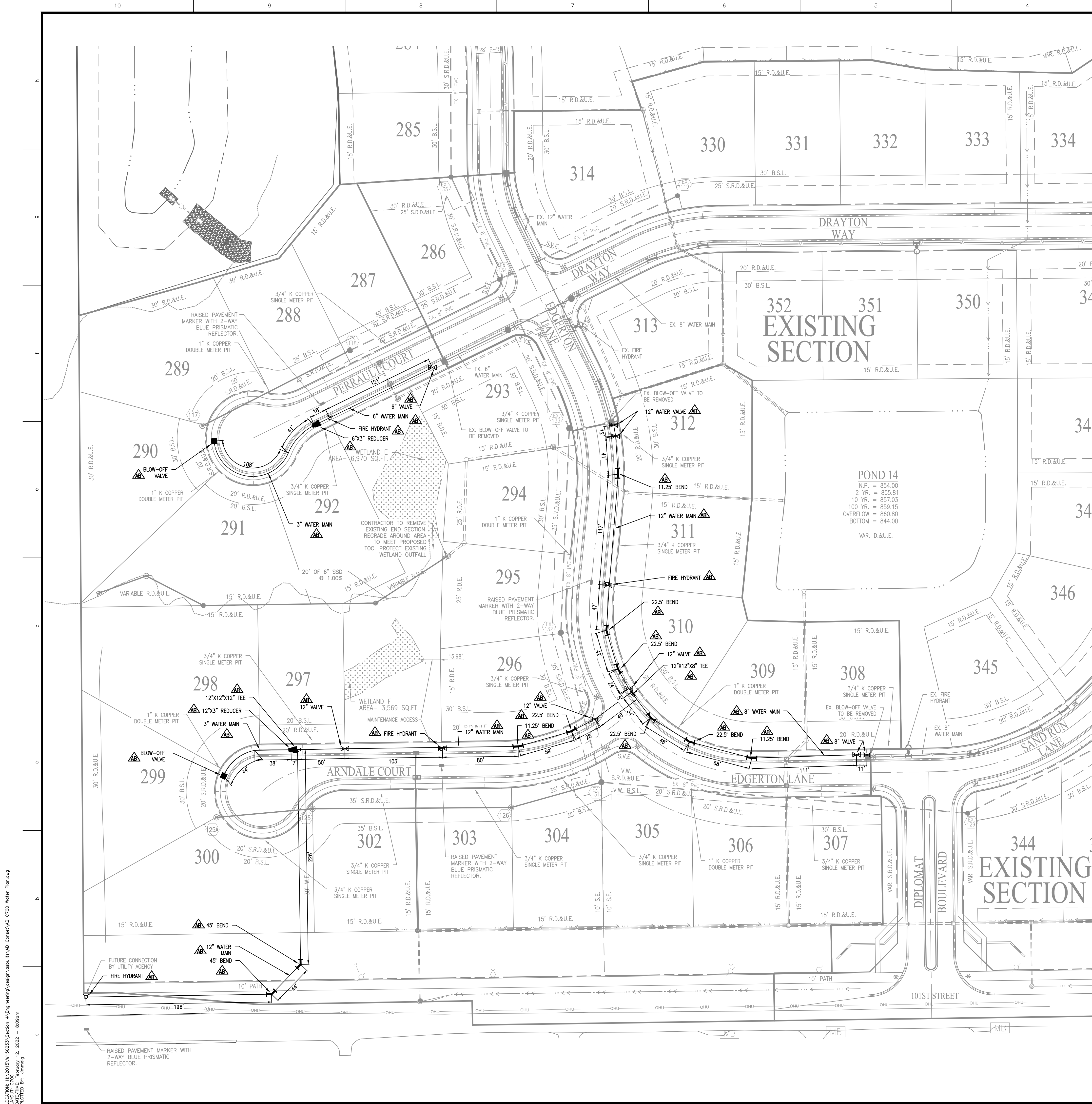
PROFILE LEGEND
EXISTING GRADE
FINISHED GRADE
GRANULAR BACKFILL

PROFILE LEGEND
EXISTING GRADE
FINISHED GRADE
GRANULAR BACKFILL



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10505 N. College Avenue Indianapolis, Indiana 46280
WEIHE ENGINEERS
Land Surveying/Civil Engineering Landscape Architecture
PROJECT NO. W150253-4
SHEET NO. C600



BENCHMARK INFORMATION

SOURCE BENCHMARK
 HCBR 285 - HAMILTON COUNTY GEODETIC CONTROL DISK SET IN NORTH END OF EAST CONCRETE HANDRAIL ON THE ATLANTA AVENUE (SOUTHEASTERN PARKWAY OR SR 238) BRIDGE OVER FALL CREEK.
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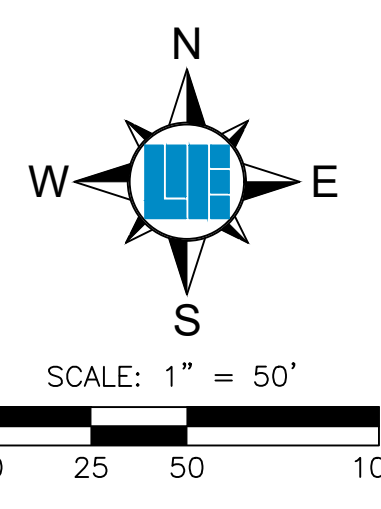
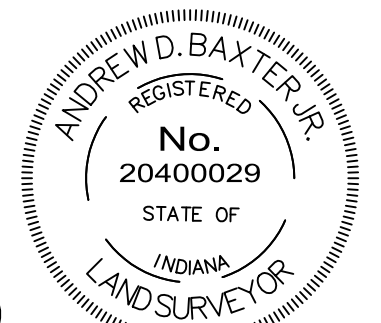
LEGEND

- w- EXISTING WATER MAIN
- p- PROPOSED WATER MAIN
- H- EXISTING HYDRANT WITH HYDRANT VALVE
- HV- HYDRANT WITH HYDRANT VALVE
- V- VALVE
- T- TEE
- C- CROSS
- R- REDUCER
- D.I.P.- DUCTILE IRON PIPE
- 1"- 1" TYPE K COPPER OR POLY W/ DOUBLE METER PIT
- 3/4"- 3/4" TYPE K COPPER OR POLY W/ SINGLE METER PIT
- W.L.- WATER LATERAL AS-BUILT LOCATION

- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT TEE
- AS-BUILT 11.25" BEND
- AS-BUILT 22.5" BEND
- AS-BUILT FIRE HYDRANT
- AS-BUILT WATER VALVE
- AS-BUILT BLOW OFF
- AS-BUILT REDUCER

DATE OF LAST FIELDWORK: 2/10/2022
 NOTE: ALL UNDERGROUND WATER STRUCTURES ARE SHOWN PER PLAN. NO REDLINE MARKUPS WERE PROVIDED BY THE CONTRACTOR.

RECORD DRAWING
 WATER AS-BUILTS
 WATER STRUCTURES ONLY
 2/11/2022
 Andrew D. Baxter, Jr., L.S. 20400029



- LEGEND**
- FO- FIBER OPTIC
 - SAN- SANITARY SEWER, MANHOLE
 - SM- SANITARY STUB MARKER
 - SWM- STORM SEWER, HEADWALL
 - CIB- CURB INLET, MANHOLE
 - RI- ROUND INLET, SQUARE INLET
 - GAS- GAS, VALVE
 - WH- WATER, FIRE HYDRANT, METER, VALVE
 - UE- UNDERGROUND ELECTRIC, FEDESTAL, TRANSFORMER
 - OHU- OVERHEAD UTILITY, GUY WIRE, POLE, PEDESTAL
 - SIGN- SIGN
 - MB- MAIL BOX
 - T.C.- TOP OF CASTING
 - INV- INVERT
 - RCP- REINFORCED CONC. PIPE
 - CMP- CORRUGATED METAL PIPE
 - PVC- POLY VINYL CHLORIDE
 - HDPE- HIGH DENSITY POLYETHYLENE PIPE
 - M.H.- MANHOLE
 - STR- STRUCTURE
 - H.W.- HEADWALL
 - EX- EXISTING
 - 132- SANITARY STR. LABEL
 - 132- STORM STR. LABEL
 - R.O.W.- RIGHT-OF-WAY
 - ADA- ADA RAMP
 - S.C.E.- STORM SEWER, CONC. END SECTION, CURB INLET, YARD
 - INLET, MANHOLE
 - SWALE
 - 6" SSD (UNLESS DENOTED OTHERWISE)
 - SAN- SANITARY SEWER, MANHOLE, LATERAL

WATER MAIN NOTES:

1. ALL FIRE HYDRANTS SHALL BE PAINTED PER FORTVILLE SPECIFICATIONS AND STANDARDS.
2. FIRE HYDRANTS SHALL HAVE 5 INCH STORZ'S CONNECTION (APPROVED BY FISHERS FIRE DEPARTMENT).
3. IF WATER MAIN IS 12 INCHES OR SMALLER, THEN C900 PIPE CAN BE USED.
4. MAIN SHALL BE BEDDED WITH SAND 6 INCHES UNDER AND 12 INCHES OVER THE PIPE WITH MARKING TAPE INSTALLED 2 FEET ABOVE THE WATER MAIN.
5. NUMBER TEN (#10) GAUGE LOCATING WIRE SHALL BE TAPED TO THE TOP OF THE MAIN AND PULLED THROUGH ALL VALVE BOXES (TO THE SURFACE) FOR LOCATING PURPOSES.
6. IF DUCTILE PIPE IS USED, THE MAIN MUST BE POLY WRAPPED.
7. CONTRACTOR MUST PROVIDE REDLINE "AS-BUILT" MARK-UPS TO ENGINEER OR ALL BENDS AND TEES MUST BE LOCATED WITH 2X4 BOARD PAINTED BLUE.
8. ALL PROPOSED ROAD CROSSINGS MUST BE FULLY BACKFILLED WITH A GRANULAR BACKFILL MATERIAL.
9. ALL TEMPORARY FIRE HYDRANTS TO BE INSTALLED WITH VALVES.
10. ALL VALVES MUST HAVE POSI-CAP INSTALLED AND HAVE STAINLESS STEEL STEMS.
11. WATER MAIN MUST MEET CURRENT FORTVILLE WATER DETAILS AND SPECIFICATIONS.
12. ALL WATER MAIN JOINTS TO BE RESTRAINED PER FORTVILLE WATER STANDARDS.
13. WATER SERVICE LATERALS AND WATER METER PITS ARE SHOWN FOR LOCATION ONLY. WATER SERVICE LATERALS AND WATER METER PITS WILL BE INSTALLED BY THE HOME BUILDERS AT THE TIME OF THE HOUSE CONSTRUCTION.
14. NO WATER VALVES ARE TO BE PLACED WITHIN THE LIMITS OF THE STREET.
15. CONTRACTOR TO SUPPLY SHOP DRAWINGS TO THE TOWN OF FORTVILLE PRIOR TO CONSTRUCTION.
16. INSTALLATION OF INDOT APPROVED SNOWPLOWABLE RAISED PAVEMENT MARKERS SHALL COMPLY WITH SECTIONS 800 & 900 OF THE MOST RECENT REVISION OF THE INDOT SPECIFICATIONS AND STANDARD DRAWINGS. UNDER NO CIRCUMSTANCE SHALL A REFLECTOR BE ATTACHED TO THE PAVEMENT SURFACE USING ONLY ADHESIVE.
17. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 10'-0" OF SEPARATION BETWEEN THE MAIN AND SEWER STRUCTURES AND A MINIMUM OF 10'-0" OF SEPARATION BETWEEN WATER, SANITARY AND STORM PIPES.
18. WATER TAP FEES WILL BE PAID AT THE TIME OF ACQUIRING THE BUILDING PERMIT.
19. HYDRAULIC TESTING TO BE DONE TO ENSURE THE FIRE HYDRANTS ARE AT 1000 GPM.

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WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

PROJECT NO.: W150253-4
 DATE: 03/03/2022
 DESIGNER: J.B. CROWE
 CHECKED BY: J.P.
 DATE: 02-01-2021

DUANE A. SHARRER, P.E. 890258
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA

PREPARED FOR:
THE WOODS AT VERMILLION
SECTION FOUR
 NORTH CONNECTICUT DEVELOPMENT CORP.
 WATER MAIN PLAN
 SHEET NO. **C700**
 PROJECT NO. **W150253-4**

LOCATION: H:\2015\W150253\Section 4\Engineering\Design\submittals\AS-Built\W150253-4_C700_Water_Main_Plan.dwg
 DATE/TIME: February 12, 2022 - 8:09am
 PLOTTED BY: herring